THE BURROWS

DISCLOSURE STATEMENT AMENDMENT

Date of Disclosure Statement:

June 30, 2016

Date of any prior Amendments:

Nil

Date of this Amendment:

March <u>30</u>, 2017

Name of Development:

THE BURROWS

Name of Developer:

ADALARD HOLDINGS LTD.

PO Box 1166, Kamloops, BC V2C 6H3

Address for Service:

c/o Registered and Records Office

200 - 121 St. Paul Street, Kamloops, BC V2C 3K8

Name and Business Address of any Real Estate Brokerage acting on

behalf of the Developer:

ROYAL Lepage Westwin Realty

800 Seymour Street, Kamloops, BC V2C 2H5

DISCLAIMER

THIS DISCLOSURE STATEMENT HAS BEEN FILED WITH THE SUPERINTENDENT OF REAL ESTATE, BUT NEITHER THE SUPERINTENDENT, NOR ANY OTHER AUTHORITY OF THE GOVERNMENT OF THE PROVINCE OF BRITISH COLUMBIA, HAS DETERMINED THE MERITS OF ANY STATEMENT CONTAINED IN THE DISCLOSURE STATEMENT, OR WHETHER THE DISCLOSURE STATEMENT CONTAINS A MISREPRESENTATION OR OTHERWISE FAILS TO COMPLY WITH THE REQUIREMENTS OF THE REAL ESTATE DEVELOPMENT MARKETING ACT. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO DISCLOSE PLAINLY ALL MATERIAL FACTS, WITHOUT MISREPRESENTATION.

PRE-SALE OF UNITS

THIS DISCLOSURE STATEMENT RELATES TO A DEVE	LOPMENT PROPERTY THAT IS NOT
YET COMPLETED. PLEASE REFER TO SECTION	7.2 FOR INFORMATION ON THE
PURCHASE AGREEMENT. THAT INFORMATION HAS	REFN DRAWN TO THE ATTENTION
OF [NAME OF PURCHASER]:	, WHO HAS CONFIRMED THAT
FACT BY INITIALLING IN THE SPACE PROVIDED HERE!	, WHO HAS CONFIRMED THAT

Initial(s) of Purchaser(s)

THIS IS A PHASE DISCLOSURE STATEMENT FILED PURSUANT TO THE REAL ESTATE DEVELOPMENT MARKETING ACT.

The Disclosure Statement dated June 30, 2016 is amended as follows:

Paragraph 2.3 is amended as to those items underlined below and should read as follows:

2. GENERAL DESCRIPTION

2.3 **Building Construction:** The Developer will construct all improvements on Strata Lots. Construction will conform to Development Permit DPM00506 issued by the City of Kamloops, a copy of which is attached hereto as Exhibit 2.3.

Sales to purchasers will consist of a fully constructed single family stand-alone or duplex style dwelling.

<u>Building Permits:</u> Building permits have been issued by the City of Kamloops for the following Strata Lots in Phase 1:

Strata Lot 1, Unit 101 Strata Lot 2, Unit 102 Strata Lot 18, Unit 118 Strata Lot 32, Unit 132 Strata Lot 33, Unit 133 Strata Lot 34, Unit 134 Strata Lot 35, Unit 135 Strata Lot 36, Unit 136.

Copies of the building permits are attached as Exhibit 2.3.1 hereto.

The Developer will apply for and obtain further building permits to construct all improvements on the Strata Lots as required. The Developer will file an amendment or amendments to the Disclosure Statement confirming that those permits have been issued by the City of Kamloops.

Building Scheme: No building scheme will be registered against the Strata Lots.

In all other respects the Disclosure Statement dated June 30, 2016 remains unchanged.

(REMAINDER OF PAGE LEFT BLANK INTENTIONALLY)

DEEMED RELIANCE

SECTION 22 OF THE REAL ESTATE DEVELOPMENT MARKETING ACT PROVIDES THAT EVERY PURCHASER WHO IS ENTITLED TO RECEIVE THIS DISCLOSURE STATEMENT IS DEEMED TO HAVE RELIED ON ANY FALSE OR MISLEADING STATEMENT OF A MATERIAL FACT CONTAINED IN THIS DISCLOSURE STATEMENT, IF ANY, AND ANY OMISSION TO STATE A MATERIAL FACT. THE DEVELOPER, ITS DIRECTORS AND ANY PERSON WHO HAS SIGNED OR AUTHORIZED THE FILING OF THIS DISCLOSURE STATEMENT ARE LIABLE TO COMPENSATE THE PURCHASER FOR ANY MISREPRESENTATION, SUBJECT TO ANY DEFENCES AVAILABLE UNDER SECTION 22 OF THE ACT.

DECLARATION

The foregoing statements disclose, without misrepresentation, all material facts relating to the Development referred to above, as required by the Real Estate Development Marketing Act of British Columbia, as of the 30 day of March, 2016.

ADALARD HOLDINGS LTD.
by its authorized signatory:

Michael Arnold Mitchell - director

Thomas Benjamin Calne - director

Christopher Thomas Gjernes - director

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP047464

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE Description: To construct a single family dwelling.

Address:

101 8800 DALLAS DR

Legal:

PL EPS3835 LT 1 DL 268 KAMLOOPS

1 .1.0

Zone:

Phone:

P.I.D. 030-029-708

Owner: Address: OWNERS OF STRATA PLAN PENDING-EPS3835

P

PLACE MAILING ADDRESS HERE

ADALARD HOLDINGS LTD

Contractor: Address:

PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

	Permitted	Proposed		Permitted	Proposed
Min. Front Setbac	ck (m):	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Max. Building Height (m):		
Min. Rear Setbac	k (m):		Max. Building Height (st):	2.00	1.00
Min. Side Setback			Min. Setback Side Street (m):		
Min. Side Setback		-	Min. Fint Setback (m) (Crnr L	t):	
Min. Building Elev			Max. Lot Coverage %:		
	CONCERNS DESCRIPTION			The state of the s	
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	190,000.00	1,280.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
DCC	1.00	10.488.00			
	A CONTRACTOR OF THE PARTY OF TH	- 50 TO THE			Salar Jackson
				Total:	\$14,462.00
		CO CONTROL OF THE PARTY OF THE			
Building Informa	ation:	de la company			
		1			
Code Edition:	2012	3.4	Occupancy: C		
Building Area:	112.00 m2	a man			
Facing Streets:	tompanada	& Tour	Building Height Z'storey	s)	
Construction:	COMB-	المناه المناه المناه	Sprinklered: YES	3 1 GA 2	

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-137871

Special Conditions:

* As-built sprinkler drawings required prior to final inspection.

* All construction shall conform to the current B.C. Building Code and Building Bylaw.

* All concrete in contact with soils must be sulphate resisting as specified in Section 9.3.1.3 and must conform to Section 16 of CAN/CSA-A23.1. In addition, all plumbing material in contact with soils must be corrosive resistant.

 The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.

* Requirements of covenants must be followed.

* Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.

* The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.

 By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.

* The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.

Plumbing work requires a separate permit and inspections.



Permit #: BP047464

- Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer connections on property line are known.
- A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Mar 3, 2017

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 3617

Signature of Owner or Agent

SITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 elephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit # BP047463

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE Description: To construct a single family dwelling.

Address:

102 8800 DALLAS DR

Legal:

PL EPS3835 LT 2 DL 268 KAMLOOPS

OWNERS OF STRATA PLAN PENDING-EPS3835

Owner: Address:

PLACE MAILING ADDRESS HERE

Contractor:

ADALARD HOLDINGS LTD

Address:

Zone:

Phone:

P.I.D. 030-029-716

Phone: 250-682-3291 PO BOX 1166 KAMLOOPS BC V2C 3A7

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):		
Min. Rear Setback (m):		- water	Max. Building Height (st):	2.00	2.00
Min. Side Setback Left (m):			Min. Setback Side Street (m):		
Min. Side Setback Right (m):			Min. Frnt Setback (m) (Crinr Lt):		
Min. Building Elevation (m):	1		Max. Lot Coverage %		
1000		The state of the s		0	America
Description	Quantity	Amount	Description Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	190,000.00	1,280.00
L S Multifamily	1.00	2,594.00	Maint Sfd	1.00	0.00
DCC	1.00	10,488.00			
				Total:	\$14,462.00
	The state of the state of	Tall Gli Annual		J	4. .,

Building Information:

Code Edition:

2012

Building Area:

112.00 m2

Facing Streets:

Construction:

Occupancy:

2 storey(s)

Building Height: ... Sprinklered:

YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-137873

Special Conditions:

As-built sprinkler drawings required prior to final inspection.

All construction shall conform to the current B.C. Building Code and Building Bylaw.

- All concrete in contact with soils must be sulphate resisting as specified in Section 9.3.1.3 and must conform to Section 16 of CAN/CSA-A23.1. In addition, all plumbing material in contact with soils must be corrosive resistant.
- The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- Requirements of covenants must be followed.

Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.

ada's Tour

- The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building
- By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.

The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.

Plumbing work requires a separate permit and inspections.



Permit #: BP047463

- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer connections on property line are known.
- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Mar 3, 2017

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 3/6/17

Signature of Owner or Agent:

CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP047245

Phone: 374-3344

Total:

\$14,462.00

Zone:

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

Description: To construct a single family dwelling: main 1200sf; bsmt 858sf (200sf fin).

Address: 118 8800 DALLAS DR

Owner: KAMORE INVESTMENTS LTD

Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Contractor: ADALARD HOLDINGS LTD

Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):		
Min. Rear Setback (m):		45	Max. Building Height (st):	2.00	2.00
Min. Side Setback Left	(m):	- 100	Min. Setback Side Street (m)		2.00
Min. Side Setback Righ	t (m):	some of the said	Min. Frnt Setback (m) (Crnr I	t)·	
Min. Building Elevation	(m):		Max. Lot Coverage %:		
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	190,000.00	1,280.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
DCC	1.00	10,488.00	The party of the p	3-31	0.00
	1 mg 1				5.400

Building Information:

Code Edition:

Building Area:

Facing Streets: Construction:

2012 125.00 m2

Occupancy:

Building Height:

2 storey(s)

Sprinklered:

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-136198

Special Conditions:

* As-built sprinkler drawings required prior to final inspection.

* All construction shall conform to the current B.C. Building Code and Building Bylaw.

* All concrete in contact with soils must be sulphate resisting as specified in Section 9.3.1.3 and must conform to Section 16 of CAN/CSA-A23.1. In addition, all plumbing material in contact with soils must be corrosive resistant.

The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.

* Requirements of covenants must be followed.

Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.

The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code

By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.

The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.

Plumbing work requires a separate permit and inspections.

* Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP047245

connections on property line are known.

 A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.

 City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Oct 24, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date:

10 27 16

Signature of Owner or Agent:

ITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 elephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP046914

Zone:

Zone:

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

Description: To construct a single family dwelling - Unit 132.

132 8800 DALLAS DR Address:

Address:

8800 DALLAS DR

PL EPP55975 LT A DL 268 KAMLOOPS Legal:

KAMORE INVESTMENTS LTD Owner:

401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7 Address:

ADALARD HOLDINGS LTD Contractor:

PO BOX 1166 KAMLOOPS BC V2C 3A7 Address:

Phone: 250-682-3291

P.I.D. 029-789-052

Phone: 374-3344

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):	0.00	4.00
Min. Rear Setback (m):			Max. Building Height (st):	2.00	1.00
Min. Side Setback Left (m):		Min. Setback Side Street (m):		
Min. Side Setback Right	(m);	The state of the s	Min. Frnt Setback (m) (Cmr Lt	I.	
Min. Building Elevation			Max. Lot Coverage %:	B. 18	
	八國為 4				7-1-1-1
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	223,930.00	1,484.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
DCC	1.00	10,488.00			
	C. T. C.				
				Total:	\$14,666,00

Occupancy:

Building Information:

Code Edition:

Building Area:

Building Height: 1 storey(s) Facing Streets: 1

Sprinklered: YES COMB. Construction:

Homeowner Protection Information:

Dwelling Unit Registration Number: 50-134482 Builder Registration Number: 41800

Special Conditions:

- All construction shall conform to the current B.C. Building Code and Building Bylaw.
- The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- Requirements of covenants must be followed.
- Engineered floor joist/bearn and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building
- By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- Plumbing work requires a separate permit and inspections.
- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



Permit #: BP046914

connections on property line are known.

* A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.

 City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date:

Signature of Owner or Agent:

ITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 elephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP046915

Zone:

Zone:

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

To construct a single family dwelling - Unit 133. Description:

133 8800 DALLAS DR Address:

8800 DALLAS DR Address:

PL EPP55975 LT A DL 268 KAMLOOPS Legal:

KAMORE INVESTMENTS LTD Owner:

401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7 Address:

ADALARD HOLDINGS LTD Contractor:

PO BOX 1166 KAMLOOPS BC V2C 3A7 Address:

Phone: 250-682-3291

P.I.D. 029-789-052

Phone: 374-3344

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):	0.00	4.00
Min. Rear Setback (m):			Max. Building Height (st):	2.00	1.00
Min. Side Setback Left (Min. Setback Side Street (m)		
Min. Side Setback Right		Self-Burney and	Min, Frnt Setback (m) (Crnr L Max. Lot Coverage %:	2000000 7	
Min. Building Elevation (m):		Wax. Lot Coverage %.	100 TE	
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	223,930.00	1,484.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
DCC	1.00	10,488.00			
3		1		Total:	\$14,666.00

Building Information:

Code Edition:

135.00 m2 Building Area:

Facing Streets: Construction:

COMB.

Occupancy:

Building Height:

1 storey(s) Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-134488

Special Conditions:

* All construction shall conform to the current B.C. Building Code and Building Bylaw.

The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.

Requirements of covenants must be followed.

Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.

- The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections. * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective

program of dust control. Plumbing work requires a separate permit and inspections.

* Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP046915

connections on property line are known.

 A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.

* City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date:

7/20/16

Signature of Owner or Agent:

CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Address:

Permit #: BP046916

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

Description: To construct a single family dwelling - Unit 134.

Zone: 134 8800 DALLAS DR Address:

Zone: 8800 DALLAS DR Address:

P.I.D. 029-789-052 PL EPP55975 LT A DL 268 KAMLOOPS Legal:

Phone: 374-3344 KAMORE INVESTMENTS LTD Owner: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Phone: 250-682-3291

ADALARD HOLDINGS LTD Contractor: PO BOX 1166 KAMLOOPS BC V2C 3A7 Address:

Proposed Permitted Permitted Proposed Max. Building Height (m): Min. Front Setback (m): 1.00 2.00 Max. Building Height (st): Min. Rear Setback (m): Min. Setback Side Street (m): Min. Side Setback Left (m): Min. Fmt Setback (m) (Crnr Lt): Min. Side Setback Right (m): Max. Lot Coverage %: Min. Building Elevation (m): Amount Quantity Description Amount Quantity Description 1.484.00 223,930.00 100.00 Building Fee 1.00 Appl Multi New 0.00 Maint Multifam 1.00 1.00 2.594.00 L S Multifamily 10,488.00 1.00 DCC \$14,666.00 Total:

Building Information:

rada's Tou Occupancy: Code Edition:

Building Area: 1 storey(s) **Building Height:** Facing Streets:

Sprinklered: YES COMB. Construction:

Homeowner Protection Information:

Dwelling Unit Registration Number: 50-134489 Builder Registration Number: 41800

Special Conditions:

- All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- Requirements of covenants must be followed.
- Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building
- By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- Plumbing work requires a separate permit and inspections.
- Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



Permit #: BP046916

connections on property line are known.

* A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.

 City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 7 28 16

Signature of Owner or Agent:

EITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP046917

P.I.D. 029-789-052

Phone: 250-682-3291

Phone: 374-3344

Zone:

Zone:

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

To construct a single family dwelling - Unit 135. Description:

135 8800 DALLAS DR Address:

8800 DALLAS DR

Address: PL EPP55975 LT A DL 268 KAMLOOPS Legal:

KAMORE INVESTMENTS LTD Owner:

401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7 Address:

ADALARD HOLDINGS LTD Contractor:

PO BOX 1166 KAMLOOPS BC V2C 3A7 Address:

Permitted Proposed Permitted Proposed Max. Building Height (m): Min, Front Setback (m): 1.00 2.00 Max. Building Height (st): Min. Rear Setback (m): Min. Setback Side Street (m): Min. Side Setback Left (m): Min. Frnt Setback (m) (Crnr Lt) Min. Side Setback Right (m): Max. Lot Coverage %: Min. Building Elevation (m): Amount Quantity Description Quantity Amount Description 223,930.00 Building Fee 100.00 1 00

1.484.00 Appl Multi New 0.00 1.00 Maint Multifam 2,594.00 1.00 L S Multifamily 10,488.00 1.00 DCC

\$14,666.00 Total:

Building Information:

Code Edition:

135.00 m2

Building Area:

Facing Streets:

COMB. Construction:

TAGIA'S TO

Building Height:

1 storey(s)

YES Sprinklered:

Homeowner Protection Information:

Dwelling Unit Registration Number: 50-134490 Builder Registration Number: 41800

Special Conditions:

All construction shall conform to the current B.C. Building Code and Building Bylaw.

The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.

Requirements of covenants must be followed.

- Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.

Plumbing work requires a separate permit and inspections.

Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



Permit #: BP046917

connections on property line are known.

A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.

City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date:

Signature of Owner or Agent:



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION 105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6 elephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP046918

P.I.D. 029-789-052

Phone: 374-3344

Zone:

Zone:

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

To construct a single family dwelling - Unit 136. Description:

136 8800 DALLAS DR Address:

8800 DALLAS DR Address:

PL EPP55975 LT A DL 268 KAMLOOPS Legal:

KAMORE INVESTMENTS LTD Owner:

401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7 Address:

ADALARD HOLDINGS LTD Contractor:

PO BOX 1166 KAMLOOPS BC V2C 3A7 Address:

Phone: 250-682-3291

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):		
Min. Rear Setback (m):		And the second	Max. Building Height (st):	2.00	1.00
Min. Side Setback Left (m):			Min. Setback Side Street (m)	1	
Min. Side Setback Right (m):	armine to the	The same	Min. Frnt Setback (m) (Crnr I	<u>t):</u>	
Min. Building Elevation (m):			Max. Lot Coverage %:		
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	223,930.00	1,484.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
DCC	1.00	10,488.00			
	(2)			Total:	\$14,666.00

Occupancy:

Building Information:

Code Edition:

135.00 m2 Building Area:

Building Height: 1 storev(s) 1 Facing Streets: YES Sprinklered:

COMB. Construction:

Homeowner Protection Information:

Dwelling Unit Registration Number: 50-134492 Builder Registration Number: 41800

Special Conditions:

* All construction shall conform to the current B.C. Building Code and Building Bylaw.

* The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.

Requirements of covenants must be followed.

- Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.

* The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.

Plumbing work requires a separate permit and inspections.

Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



Permit #: BP046918

connections on property line are known.

A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.

City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date:

Signature of Owner or Agent: