

THE BURROWS
DISCLOSURE STATEMENT AMENDMENT

Date of Disclosure Statement: June 30, 2016

Date of any prior Amendments: Nil

Date of this Amendment: March 30, 2017

Name of Development: THE BURROWS

Name of Developer: ADALARD HOLDINGS LTD.
PO Box 1166, Kamloops, BC V2C 6H3

Address for Service: c/o Registered and Records Office
200 - 121 St. Paul Street, Kamloops, BC V2C 3K8

Name and Business Address of any
Real Estate Brokerage acting on
behalf of the Developer: ROYAL LePAGE WESTWIN REALTY
800 Seymour Street, Kamloops, BC V2C 2H5

DISCLAIMER

THIS DISCLOSURE STATEMENT HAS BEEN FILED WITH THE SUPERINTENDENT OF REAL ESTATE, BUT NEITHER THE SUPERINTENDENT, NOR ANY OTHER AUTHORITY OF THE GOVERNMENT OF THE PROVINCE OF BRITISH COLUMBIA, HAS DETERMINED THE MERITS OF ANY STATEMENT CONTAINED IN THE DISCLOSURE STATEMENT, OR WHETHER THE DISCLOSURE STATEMENT CONTAINS A MISREPRESENTATION OR OTHERWISE FAILS TO COMPLY WITH THE REQUIREMENTS OF THE *REAL ESTATE DEVELOPMENT MARKETING ACT*. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO DISCLOSE PLAINLY ALL MATERIAL FACTS, WITHOUT MISREPRESENTATION.

PRE-SALE OF UNITS

THIS DISCLOSURE STATEMENT RELATES TO A DEVELOPMENT PROPERTY THAT IS NOT YET COMPLETED. PLEASE REFER TO SECTION 7.2 FOR INFORMATION ON THE PURCHASE AGREEMENT. THAT INFORMATION HAS BEEN DRAWN TO THE ATTENTION OF [NAME OF PURCHASER]: _____, WHO HAS CONFIRMED THAT FACT BY INITIALLING IN THE SPACE PROVIDED HERE:

Initial(s) of
Purchaser(s)

THIS IS A PHASE DISCLOSURE STATEMENT FILED PURSUANT TO THE
REAL ESTATE DEVELOPMENT MARKETING ACT.

The Disclosure Statement dated June 30, 2016 is amended as follows:

Paragraph 2.3 is amended as to those items underlined below and should read as follows:

2. GENERAL DESCRIPTION

- 2.3 **Building Construction:** The Developer will construct all improvements on Strata Lots. Construction will conform to Development Permit DPM00506 issued by the City of Kamloops, a copy of which is attached hereto as Exhibit 2.3.

Sales to purchasers will consist of a fully constructed single family stand-alone or duplex style dwelling.

Building Permits: Building permits have been issued by the City of Kamloops for the following Strata Lots in Phase 1:

Strata Lot 1, Unit 101
Strata Lot 2, Unit 102
Strata Lot 18, Unit 118
Strata Lot 32, Unit 132
Strata Lot 33, Unit 133
Strata Lot 34, Unit 134
Strata Lot 35, Unit 135
Strata Lot 36, Unit 136.

Copies of the building permits are attached as Exhibit 2.3.1 hereto.

The Developer will apply for and obtain further building permits to construct all improvements on the Strata Lots as required. The Developer will file an amendment or amendments to the Disclosure Statement confirming that those permits have been issued by the City of Kamloops.

Building Scheme: No building scheme will be registered against the Strata Lots.

In all other respects the Disclosure Statement dated June 30, 2016 remains unchanged.

(REMAINDER OF PAGE LEFT BLANK INTENTIONALLY)

DEEMED RELIANCE

SECTION 22 OF THE *REAL ESTATE DEVELOPMENT MARKETING ACT* PROVIDES THAT EVERY PURCHASER WHO IS ENTITLED TO RECEIVE THIS DISCLOSURE STATEMENT IS DEEMED TO HAVE RELIED ON ANY FALSE OR MISLEADING STATEMENT OF A MATERIAL FACT CONTAINED IN THIS DISCLOSURE STATEMENT, IF ANY, AND ANY OMISSION TO STATE A MATERIAL FACT. THE DEVELOPER, ITS DIRECTORS AND ANY PERSON WHO HAS SIGNED OR AUTHORIZED THE FILING OF THIS DISCLOSURE STATEMENT ARE LIABLE TO COMPENSATE THE PURCHASER FOR ANY MISREPRESENTATION, SUBJECT TO ANY DEFENCES AVAILABLE UNDER SECTION 22 OF THE ACT.

DECLARATION

The foregoing statements disclose, without misrepresentation, all material facts relating to the Development referred to above, as required, by the *Real Estate Development Marketing Act* of British Columbia, as of the 30th day of March, 2016.

ADALARD HOLDINGS LTD.
by its authorized signatory:



Michael Arnold Mitchell - president

Michael Arnold Mitchell - director

Thomas Benjamin Calne - director

Christopher Thomas Gjernes - director



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP047464

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE
 Description: To construct a single family dwelling.

Address: 101 8800 DALLAS DR
 Legal: PL EPS3835 LT 1 DL 268 KAMLOOPS

Zone:
 P.I.D. 030-029-708

Owner: OWNERS OF STRATA PLAN PENDING-EPS3835
 Address: PLACE MAILING ADDRESS HERE

Phone:

Contractor: ADALARD HOLDINGS LTD
 Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):		
Min. Rear Setback (m):			Max. Building Height (st):	2.00	1.00
Min. Side Setback Left (m):			Min. Setback Side Street (m):		
Min. Side Setback Right (m):			Min. Front Setback (m) (Cnr Lt):		
Min. Building Elevation (m):			Max. Lot Coverage %:		
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	190,000.00	1,280.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
D C C	1.00	10,488.00			
			Total:		\$14,462.00

Building Information:

Code Edition: 2012
 Building Area: 112.00 m2
 Facing Streets: 1
 Construction: COMB-

Occupancy: C

Building Height: 2 storey(s)
 Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-137871

Special Conditions:

- * As-built sprinkler drawings required prior to final inspection.
- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * All concrete in contact with soils must be sulphate resisting as specified in Section 9.3.1.3 and must conform to Section 16 of CAN/CSA-A23.1. In addition, all plumbing material in contact with soils must be corrosive resistant.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP047464

- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer connections on property line are known.
- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Mar 3, 2017

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 3/6/17

Signature of Owner or Agent:



Canada's Tournament Capital



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP047463**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

Description: To construct a single family dwelling.

Address: 102 8800 DALLAS DR

Legal: PL EPS3835 LT 2 DL 268 KAMLOOPS

Zone:

P.I.D. 030-029-716

Owner: OWNERS OF STRATA PLAN PENDING-EPS3835

Address: PLACE MAILING ADDRESS HERE

Phone:

Contractor: ADALARD HOLDINGS LTD

Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

			<u>Permitted</u>	<u>Proposed</u>				<u>Permitted</u>	<u>Proposed</u>
Min. Front Setback (m):					Max. Building Height (m):				
Min. Rear Setback (m):					Max. Building Height (st):			2.00	2.00
Min. Side Setback Left (m):					Min. Setback Side Street (m):				
Min. Side Setback Right (m):					Min. Frnt Setback (m) (Cmrr Lt):				
Min. Building Elevation (m):					Max. Lot Coverage %:				
Description	Quantity	Amount				Description	Quantity	Amount	
Appl Multi New	1.00	100.00				Building Fee	190,000.00	1,280.00	
L S Multifamily	1.00	2,594.00				Maint Sfd	1.00	0.00	
D C C	1.00	10,488.00							
								Total:	\$14,462.00

Building Information:

Code Edition: 2012
Building Area: 112.00 m2
Facing Streets: 1
Construction: COMB

Occupancy: C

Building Height: 2 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-137873

Special Conditions:

- * As-built sprinkler drawings required prior to final inspection.
- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * All concrete in contact with soils must be sulphate resisting as specified in Section 9.3.1.3 and must conform to Section 16 of CAN/CSA-A23.1. In addition, all plumbing material in contact with soils must be corrosive resistant.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: BP047463

- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer connections on property line are known.
- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: LEE LUNDGREN

Date Printed: Mar 3, 2017

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 3/6/17

Signature of Owner or Agent: _____



Canada's Tournament Capital



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP047245**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE

Description: To construct a single family dwelling: main 1200sf, bsmt 858sf (200sf fin).

Address: 118 8800 DALLAS DR

Zone:

Owner: KAMORE INVESTMENTS LTD

Phone: 374-3344

Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Contractor: ADALARD HOLDINGS LTD

Phone: 250-682-3291

Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

	<u>Permitted</u>	<u>Proposed</u>		<u>Permitted</u>	<u>Proposed</u>
Min. Front Setback (m):			Max. Building Height (m):		
Min. Rear Setback (m):			Max. Building Height (st):	2.00	2.00
Min. Side Setback Left (m):			Min. Setback Side Street (m):		
Min. Side Setback Right (m):			Min. Frnt Setback (m) (Cnr Lt):		
Min. Building Elevation (m):			Max. Lot Coverage %:		
<u>Description</u>	<u>Quantity</u>	<u>Amount</u>	<u>Description</u>	<u>Quantity</u>	<u>Amount</u>
Appl Multi New	1.00	100.00	Building Fee	190,000.00	1,280.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
D C C	1.00	10,488.00			
				Total:	\$14,462.00

Building Information:

Code Edition: 2012
Building Area: 125.00 m2
Facing Streets: 1
Construction: COMB.

Occupancy: C
Building Height: 2 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-136198

Special Conditions:

- * As-built sprinkler drawings required prior to final inspection.
- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * All concrete in contact with soils must be sulphate resisting as specified in Section 9.3.1.3 and must conform to Section 16 of CAN/CSA-A23.1. In addition, all plumbing material in contact with soils must be corrosive resistant.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.
- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP047245**

connections on property line are known.

* A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.


* City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: **LEE LUNDGREN**

Date Printed: Oct 24, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 10/27/16

Signature of Owner or Agent: 



Canada's Tournament Capital



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046914**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE
Description: To construct a single family dwelling - Unit 132.

Address: 132 8800 DALLAS DR

Zone:

Address: 8800 DALLAS DR
Legal: PL EPP55975 LT A DL 268 KAMLOOPS

Zone:
P.I.D. 029-789-052

Owner: KAMORE INVESTMENTS LTD
Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Phone: 374-3344

Contractor: ADALARD HOLDINGS LTD
Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

			<u>Permitted</u>	<u>Proposed</u>				<u>Permitted</u>	<u>Proposed</u>
Min. Front Setback (m):					Max. Building Height (m):				
Min. Rear Setback (m):					Max. Building Height (st):			2.00	1.00
Min. Side Setback Left (m):					Min. Setback Side Street (m):				
Min. Side Setback Right (m):					Min. Frnt Setback (m) (Cmrr Lt):				
Min. Building Elevation (m):					Max. Lot Coverage %:				
<u>Description</u>	<u>Quantity</u>	<u>Amount</u>				<u>Description</u>	<u>Quantity</u>	<u>Amount</u>	
Appl Multi New	1.00	100.00				Building Fee	223,930.00	1,484.00	
L S Multifamily	1.00	2,594.00				Maint Multifam	1.00	0.00	
D C C	1.00	10,488.00							
							Total:	\$14,666.00	

Building Information:

Code Edition: 2012
Building Area: 135.00 m²
Facing Streets: 1
Construction: COMB.

Occupancy: C
Building Height: 1 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-134482

Special Conditions:

- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.
- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION
105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046914**

connections on property line are known.

- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: **LEE LUNDGREN**

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date:

7/28/16

Signature of Owner or Agent:



Canada's Tournament Capital



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046915**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE
Description: To construct a single family dwelling - Unit 133.

Address: 133 8800 DALLAS DR

Zone:

Address: 8800 DALLAS DR

Zone:

Legal: PL EPP55975 LT A DL 268 KAMLOOPS

P.I.D. 029-789-052

Owner: KAMORE INVESTMENTS LTD

Phone: 374-3344

Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Contractor: ADALARD HOLDINGS LTD

Phone: 250-682-3291

Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

	Permitted	Proposed		Permitted	Proposed
Min. Front Setback (m):			Max. Building Height (m):		
Min. Rear Setback (m):			Max. Building Height (st):	2.00	1.00
Min. Side Setback Left (m):			Min. Setback Side Street (m):		
Min. Side Setback Right (m):			Min. Frnt Setback (m) (Cnr Lt):		
Min. Building Elevation (m):			Max. Lot Coverage %:		
Description	Quantity	Amount	Description	Quantity	Amount
Appl Multi New	1.00	100.00	Building Fee	223,930.00	1,484.00
L S Multifamily	1.00	2,594.00	Maint Multifam	1.00	0.00
D C C	1.00	10,488.00			
			Total:		\$14,666.00

Building Information:

Code Edition: 2012
Building Area: 135.00 m²
Facing Streets: 1
Construction: COMB.

Occupancy: C
Building Height: 1 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-134488

Special Conditions:

- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.
- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION
105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046915**

connections on property line are known.

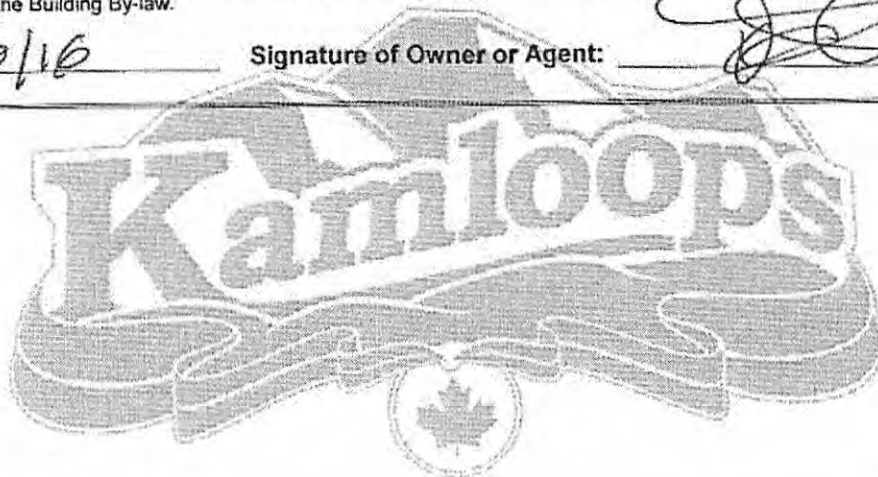
- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: **LEE LUNDGREN**

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 7/28/16 Signature of Owner or Agent: [Signature]



Canada's Tournament Capital



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046916**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE
Description: To construct a single family dwelling - Unit 134.

Address: 134 8800 DALLAS DR

Zone:

Address: 8800 DALLAS DR
Legal: PL EPP55975 LT A DL 268 KAMLOOPS

Zone:
P.I.D. 029-789-052

Owner: KAMORE INVESTMENTS LTD
Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Phone: 374-3344

Contractor: ADALARD HOLDINGS LTD
Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

			<u>Permitted</u>	<u>Proposed</u>				<u>Permitted</u>	<u>Proposed</u>
Min. Front Setback (m):					Max. Building Height (m):				
Min. Rear Setback (m):					Max. Building Height (st):			2.00	1.00
Min. Side Setback Left (m):					Min. Setback Side Street (m):				
Min. Side Setback Right (m):					Min. Frnt Setback (m) (Cmnr Lt):				
Min. Building Elevation (m):					Max. Lot Coverage %:				
Description	Quantity	Amount				Description	Quantity	Amount	
Appl Multi New	1.00	100.00				Building Fee	223,930.00	1,484.00	
L S Multifamily	1.00	2,594.00				Maint Multifam	1.00	0.00	
D C C	1.00	10,488.00							
							Total:	\$14,666.00	

Building Information:

Code Edition: 2012
Building Area: 135.00 m²
Facing Streets: 1
Construction: COMB.

Occupancy: C
Building Height: 1 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-134489

Special Conditions:

- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.
- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046916**

connections on property line are known.

- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

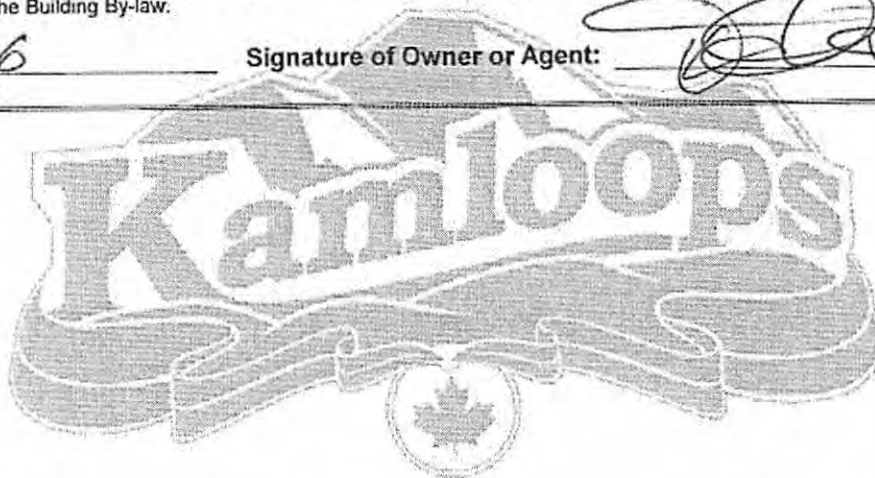
Processed By: **LEE LUNDGREN**

Date Printed: Jul 28, 2016

All work to which this permit relates shall be carried out in compliance with all By-laws of the City of Kamloops and all Regulations relating to the work, and neither the issue of this permit nor any representation made, nor any act done by the City, its officers or servants shall be deemed to waive any provision of any such By-law or Regulation. This permit shall be void if the work has not been started within six (6) months from the date of issuing the permit and if the work is not completed within two (2) years or if special instructions or conditions as listed above are not complied with. It is the duty of the owner to give at least 24 hours notice to the Building Inspector and obtain his inspection and approval of the work carried out under this permit at various stages of construction as required by the Building By-law.

Date: 7/28/16

Signature of Owner or Agent: _____



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CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION
105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046917**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE
Description: To construct a single family dwelling - Unit 135.

Address: 135 8800 DALLAS DR

Zone:

Address: 8800 DALLAS DR
Legal: PL EPP55975 LT A DL 268 KAMLOOPS

Zone:
P.I.D. 029-789-052

Owner: KAMORE INVESTMENTS LTD
Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Phone: 374-3344

Contractor: ADALARD HOLDINGS LTD
Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

<u>Permitted</u>			<u>Proposed</u>			<u>Permitted</u>			<u>Proposed</u>		
Min. Front Setback (m):						Max. Building Height (m):					
Min. Rear Setback (m):						Max. Building Height (st): 2.00 1.00					
Min. Side Setback Left (m):						Min. Setback Side Street (m):					
Min. Side Setback Right (m):						Min. Frnt Setback (m) (Crrr Lt):					
Min. Building Elevation (m):						Max. Lot Coverage %:					
Description			Quantity	Amount		Description			Quantity	Amount	
Appl Multi New			1.00	100.00		Building Fee			223.930.00	1,484.00	
L S Multifamily			1.00	2,594.00		Maint Multifam			1.00	0.00	
D C C			1.00	10,488.00							
						Total: \$14,666.00					

Building Information:

Code Edition: 2012
Building Area: 135.00 m²
Facing Streets: 1
Construction: COMB.

Occupancy: C
Building Height: 1 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-134490

Special Conditions:

- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
- * Requirements of covenants must be followed.
- * Engineered floor joist/beam and roof truss spec's must be submitted prior to framing inspection.
- * The City of Kamloops is relying on Letters of Assurance where submitted in accordance with the current BC Building Code.
- * By accepting this permit and proceeding with the intended construction, you are accepting full responsibility and all liability associated with requesting all required inspections.
- * The construction site shall be maintained free of loose or blowing debris and shall be subject to a continuous and effective program of dust control.
- * Plumbing work requires a separate permit and inspections.
- * Prior to commencement of building construction ensure the location and elevation of water and sanitary sewer



CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046917**

connections on property line are known.

- * A Surveyor's Certificate is required prior to a foundation inspection and must indicate top of foundation elevation relative to adjacent roadway.
- * City Staff are not authorized to do inspections, if in their opinion the inspection area is in violation of WCB Occupational Health and Safety Regulations.

Processed By: **LEE LUNDGREN**

Date Printed: Jul 28, 2016

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Date:

7/28/16

Signature of Owner or Agent:



Canada's Tournament Capital

**CITY OF KAMLOOPS - BUILDING INSPECTION DIVISION**

105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046918**

Permit Type: B-RESIDENTIAL - MULTI - MF-SINGLE
Description: To construct a single family dwelling - Unit 136.

Address: 136 8800 DALLAS DR

Zone:

Address: 8800 DALLAS DR
Legal: PL EPP55975 LT A DL 268 KAMLOOPS

Zone:
P.I.D. 029-789-052

Owner: KAMORE INVESTMENTS LTD
Address: 401-153 SEYMOUR ST KAMLOOPS BC V2C 2C7

Phone: 374-3344

Contractor: ADALARD HOLDINGS LTD
Address: PO BOX 1166 KAMLOOPS BC V2C 3A7

Phone: 250-682-3291

			<u>Permitted</u>	<u>Proposed</u>				<u>Permitted</u>	<u>Proposed</u>
Min. Front Setback (m):					Max. Building Height (m):				
Min. Rear Setback (m):					Max. Building Height (st):			2.00	1.00
Min. Side Setback Left (m):					Min. Setback Side Street (m):				
Min. Side Setback Right (m):					Min. Frnt Setback (m) (Cmrr Lt):				
Min. Building Elevation (m):					Max. Lot Coverage %:				
Description	Quantity	Amount				Description	Quantity	Amount	
Appl Multi New	1.00	100.00				Building Fee	223,930.00	1,484.00	
L S Multifamily	1.00	2,594.00				Maint Multifam	1.00	0.00	
D C C	1.00	10,488.00							
								Total:	\$14,666.00

Building Information:

Code Edition: 2012
Building Area: 135.00 m2
Facing Streets: 1
Construction: COMB.

Occupancy: C
Building Height: 1 storey(s)
Sprinklered: YES

Homeowner Protection Information:

Builder Registration Number: 41800

Dwelling Unit Registration Number: 50-134492

Special Conditions:

- * All construction shall conform to the current B.C. Building Code and Building Bylaw.
- * The subject property is in a CORROSIVE SOILS environment. Special measures must be taken to protect concrete and metallic structures.
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105 SEYMOUR STREET, KAMLOOPS BC V2C 2C6

Telephone: 828-3554 Fax: 828-7848 Inspection Request Line (24 Hours): 828-3300

Canada's Tournament Capital

Permit #: **BP046918**

connections on property line are known.

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Processed By: LEE LUNDGREN

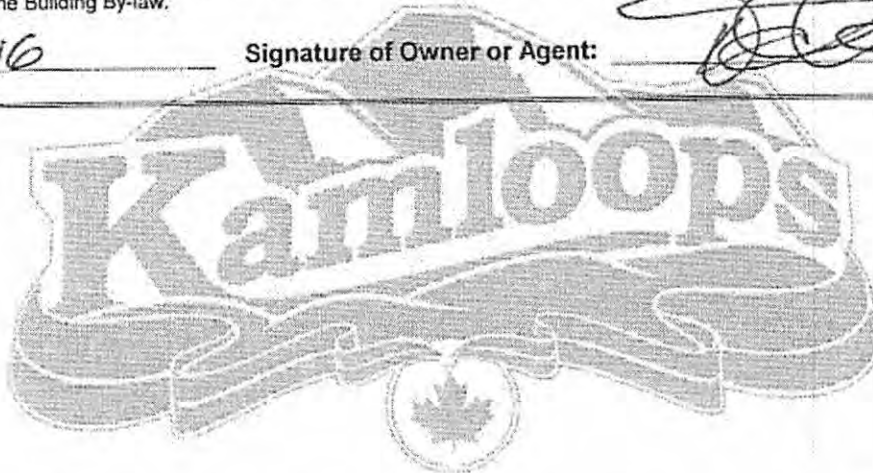
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Date:

7/28/16

Signature of Owner or Agent:



Canada's Tournament Capital